



# Facility Plan

## Introduction

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This document serves as a master plan for undertaking facility improvements as identified by contractors hired on behalf of the La Grange Park Public Library Board of Trustees. The board firmly believes in the value of an informed public, and seeks to relay the status of concerns and pressing issues in relation to the future of the library facility. Any resident with questions that are not answered in this document should direct inquiries to:

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## About Us

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The La Grange Park Library is a welcoming and inclusive community center connecting residents to informational, cultural, and educational resources. Our vision is to enrich the lives of everyone who walks through our doors. We accomplish this by offering access to thousands of physical and digital materials, curated by dedicated library staff and by offering a safe, modern environment for learning and play.

The main floor and the second floor adult area offers a variety of comfortable seating as well as tables for work and study. Power for laptops and other devices can be found throughout. Adults may take advantage of a library laptop for in-house use and print out any documents from our public copier. Our children's staff have a passion for literacy and little ones, several of them with backgrounds in education. Their storytimes and STEM programs add another element to traditional education, making learning fun and engaging for children and their caregivers.

Our staff of 27 contains some of the kindest and brightest people you will meet. Many of them are master's degree educated professionals who are qualified to offer the highest level of service. Technical help is available for anyone needing it as well as book recommendations from our readers' advisory specialists.

Situated on the intersection of bustling La Grange and Oak Roads, our building, erected in 1989, hosts an average of 125,000 visitors each year. The facility currently houses four meeting rooms available for residents to use on a daily basis, and in 2016 they were booked over 2,500 times. Over 18,000 of those visitors attended library events and checked out 200,000 items from the collection last year. Open for 62 hours each week, 355 days of the year, our library is thriving and full of life. So full, in fact, we can barely keep up with demand.



## Process

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In 2014, staff noted several areas of the building had sustained water damage to drywall, there was rust forming on metal surfaces, and other evidence of water infiltration existed. The board determined it would be wise to do a thorough investigative study of this problem. Kluber Architects and Engineers were hired to perform the study in spring 2015 and presented their findings to the board in July 2015.

Once we knew how extensive the repairs to the facade would be, the board determined they needed more information before moving forward with a large scale construction project. The trustees interviewed and hired Studio GC to do a facility needs assessment that included an estimate of other potential building projects over the next twenty years and any to identify service areas that needed updating. For several months in 2016, Studio GC met with the board, staff, and residents to further investigate the issues. Architect Rick McCarthy's final assessment was presented to our board in the fall of 2016.

With all the facts gathered, the trustees researched financing options and prepared to present their findings to the public. This document is a culmination of the research process that has occurred over the last several years.



## Structural Issues

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Kluber Architects & Engineers 2015 investigative study focused on examining evidence of water infiltration and noting the extent of damage to the facade. In a 175 page report issued to the board in the summer of 2015, Kluber explained that damage was extensive and would require an entire rebuild of the east and west walls. Invasive testing of the clerestory windows and masonry noted damage that was not as extensive as the damage of our east and west walls, but repairs will need to be completed along the north and south walls and the clerestory to prevent further future damage.

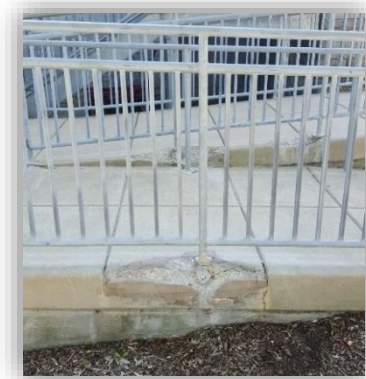


The total cost to repair the damage is in the neighborhood of 2.2 million dollars, as of estimates given in 2015. Considering inflation, we estimate close to 2.5 million in total costs with a timeline of 7-10 months for completion. There is not a temporary or less costly fix. The damage is such that we need a complete rebuild. We have been asked if the library will need to close for these renovations, and that answer is difficult to give at this point. It is our goal to avoid closures and keep the library open as much as possible during construction within the constraints of public safety.

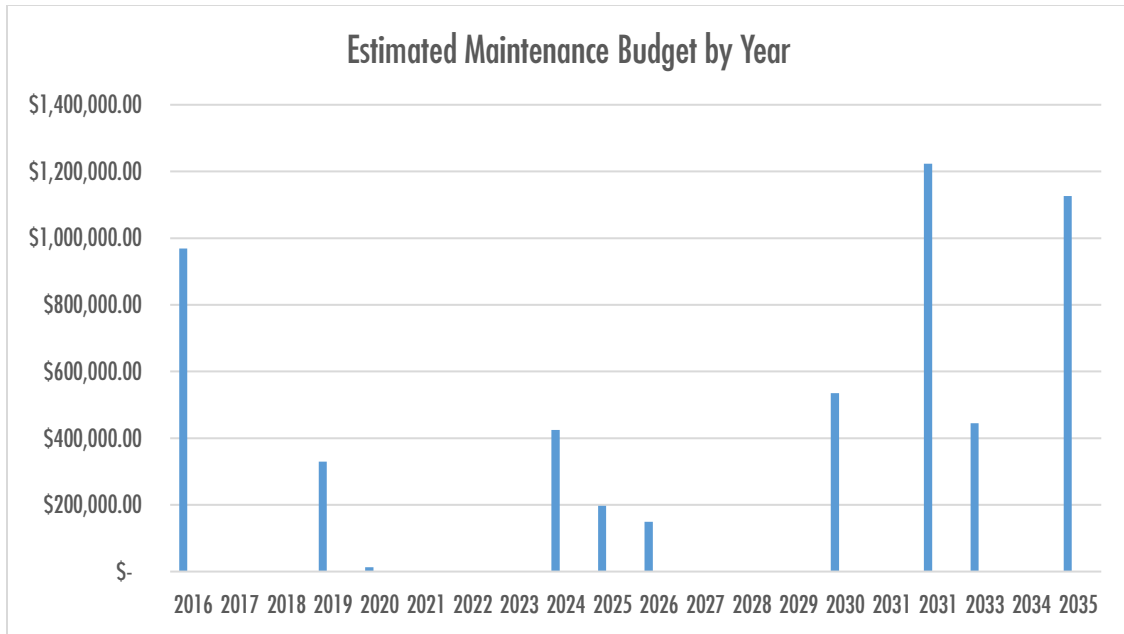
## Maintenance Issues

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Part of our process following the revelation of the structural damage was to determine what other maintenance issues we could expect in the coming years. A portion of our annual revenue should be budgeted to repair these ongoing issues and to save for future maintenance costs. Studio GC helped us gain a picture of estimated maintenance costs for our 21,000 square foot facility over the next 20 years. This is part of the overall Facility Needs Assessment. It would be unwise for the library to spend money on construction and leave nothing left for things like asphalt re-paving, millwork, generator replacement, etc. Some of the items included in the maintenance report could be included with any future remodel projects, such as new lighting and flooring. However, it was important to price these items separately for the time being in the event we cannot move forward with all of them.



Since the library has investigated issues and associated costs for several years while the capital plan was created, many site features and equipment are past their useful life. Studio GC estimates that the library has close to \$1 million dollars in deferred maintenance that needs to take place as soon as possible. Overall, the library anticipates spending approximately \$3 to \$5 million dollars on building maintenance over the next 20 years, depending on the escalation in construction costs.

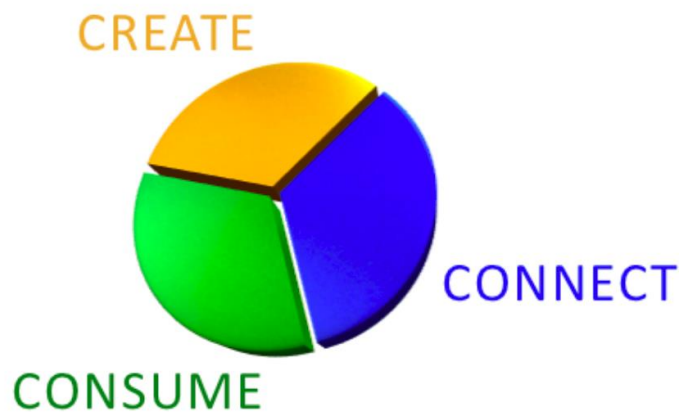


## Service Issues

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Studio GC met with the library board and staff to discuss current library usage, anticipated future needs, and to determine which services could be reevaluated for a more efficient organization. Peer comparisons were utilized to help understand which areas La Grange Park was excelling in and where we needed to improve. Studio GC also considered national library trends to help come up with recommendations.

PEW research conducted over the past several years on national library usage tells a story of new patterns and trends in patron behavior. People who visit the library do so to connect, create, and consume.



Our local statistics reveal how La Grange Park uses their library.

- **Programs/Events:** In 2010 our library had an overall attendance at library events of just over 3,000. In June of 2016 our overall attendance at library events was over 18,000. This increase is primarily in children's events and outreach. This is a staggering increase in use in six years.
- **Material Check Out:** The library provides both digital and physical materials for check out, and this aspect of service remains popular with La Grange Park residents with an overall growth of over 25% in the last 5 years. This is growth we anticipate continuing due to our staff applying more user driven methods to make purchasing decisions. Books still account for the highest amount of items being circulated among our users followed by DVDs.
- **Room Reservations:** Visitors use our four available meeting rooms for quiet study space, research, tutoring, and group meetings. We were able to accommodate 2,500 individual room reservations last year, but we estimate we received more than double the amount of requests. The need for private meeting space is one the library would like to address in future construction projects.

As staff respond to wants and needs of our community, we work hard to offer more opportunities each year. We see a future for our library that includes more programs in terms of sheer quantity, but also more outreach and partnerships with local schools, more diverse materials, new technology, and substantial changes in how our space is used by the public. This is a very different approach than was being used in libraries even just 6 or 7 years ago. Our community has not grown in population, and our budget has remained fairly flat over the last five years. Our usage, however has continued to increase year after year. We are busier than ever before, which goes to show that libraries are still very relevant in this modern age.

Staff were asked to re-think the building space overall and try to determine which areas could be tweaked for maximum use and efficiency. While we recognize that remodeling the building may seem secondary to the structural issues we have identified, it is vitally important that we keep our services and resource offerings current and responsive.

Overall, the cost to remodel the three floors of our library falls somewhere in the realm of 1.5 million. If this work is done at the same time as the structural repairs, we believe there may be the opportunity to save money. If we wait and phase the remodeling project out over several years, we will see higher design and construction fees as well as just general increases in costs due to escalating construction costs.

Studio GC gave us a key point summary of the facility needs assessment which includes:

1. The La Grange Park Public Library is well-used by the community and is successfully offering a full array of traditional library services.
2. Offering access to books and AV materials will remain a key part of the library's service for the foreseeable future.
3. The role of public libraries has changed significantly since LPPL was planned and built; contemporary libraries are as much about hosting events, supporting creative activities, and connecting people as they are about housing a collection of materials.
4. The contemporary amenities that are most lacking in the existing library are those geared toward social interaction and creative activities.
5. La Grange Park Public Library can evolve to provide a more 21<sup>st</sup> century experience while still providing a full range of traditional library services. This will require that trustees, administration, staff, and the community accept that new approaches to library service require changing some of our preconceptions of what a "library" is.

## Financial Impact

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The library board has worked hard to build a fiscally sound organization that meets community needs within the parameters of the budget. Careful spending has resulted in the ability to set aside a small amount of money each year to dedicate to capital improvement projects. Our healthy savings, however, are not nearly enough for construction costs.

As it stands, the library is paying off refunding debt issued in 2012. This debt will not be paid off until 2023, which we believe is too long to wait in dealing with the structural issues facing us. The library has several financial goals for the next several years that will allow us to address the structural and service issues and to deal with many of the deferred maintenance issues.

1. Budget conservatively and plan capital savings each year.
2. Improve the library credit rating to secure lower interest financing in the future.
3. Secure alternate revenue bonds in FY 2021/2022 to cover costs associated with a 4 million dollar project.
4. Immediately begin addressing maintenance issues not associated with potential construction.

If economic conditions remain as they are and there is no State property tax freeze, the library believes we will be ready for a large scale construction project in spring of 2022. While this sounds like a long way off, there are significant maintenance issues that can be dealt with in the coming years as well as service improvements. We want current residents and taxpayers to enjoy and benefit from their library today and not have to wait. The staff and board will work to achieve our goals each year, even while being mindful of spending so we can save for the building project.

## Timeline

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2018:	Finalize Facility Master Plan
2019:	Maintenance Project Year One
2020:	Maintenance Project Year Two
2021:	Maintenance Project Year Three Employ architectural firm to create designs for large scale repairs/remodel Construction bid announced Current debt service is paid off in December
2022:	General contractor selected Construction begins in spring