

# Community Forum



La Grange Park Public Library  
Facility Discussion



# AGENDA

## for July 24, 2017

- Explain our process
- Describe our findings
- Ask our experts
- Discuss options
  - Members of the public will get three minutes to speak
  - If time allows, additional time may be allotted to public comment once all questions are answered

# Our Process

2014-2015: Investigate the issues

Independent Construction Services & Kluber Architects

Investigative study to determine extent of damage to façade

# Our Process

## 2016-2017: Investigate the issues

### Studio GC Visioning & Needs Assessment

- Meetings with staff, board, and community forum on 7/7/16
- Community Survey in summer 2016
- Report to the board October 2016

# Our Findings: Structural Damage

## Structural Damage

What is wrong with our building structurally?





## INSPECTION PHOTO

Project: LaGrange Park Public Library Water  
Infiltration Investigative Study

Photo Number: A9844

Description:  
A view looking up towards the East barrel vault glass curtainwall window framing system. Note that the radius of the barrel vault drywall does not match the radius of the aluminum glass curtain wall circumference.

Water is entering the building due to errors in construction & installation of original building features.



Leakage at intersections.

Water infiltration evidenced at sill of window unit and at diagonal members.

INSPECTION PHOTO

- There was no secondary counterflashing at the curtainwall window heads or sill installations to divert water to the exterior.
- Both window installations do not incorporate thermal breaks which are found in modern day aluminum window systems in this area of the country. This causes the window system to conduct cold temperatures into the interior face of the window system and condense into water droplets, affecting the interior surfaces it comes in contact with.



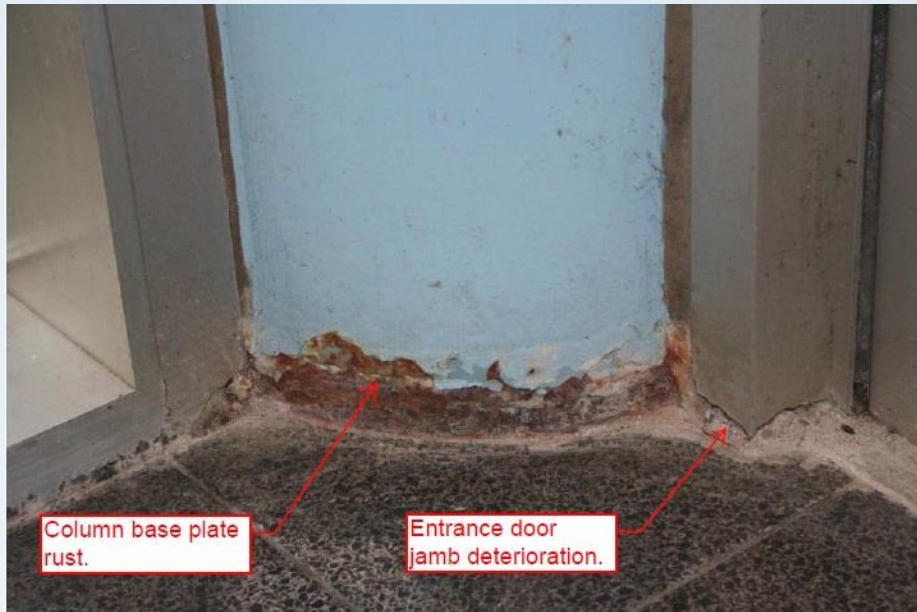
Joint failures and lack of insulation have caused water infiltration, rust, and deterioration, along primarily the east wall.





Rust damage

INSPECTION PHOTO



Column base plate rust.

Entrance door jamb deterioration.

INSPECTION PHOTO

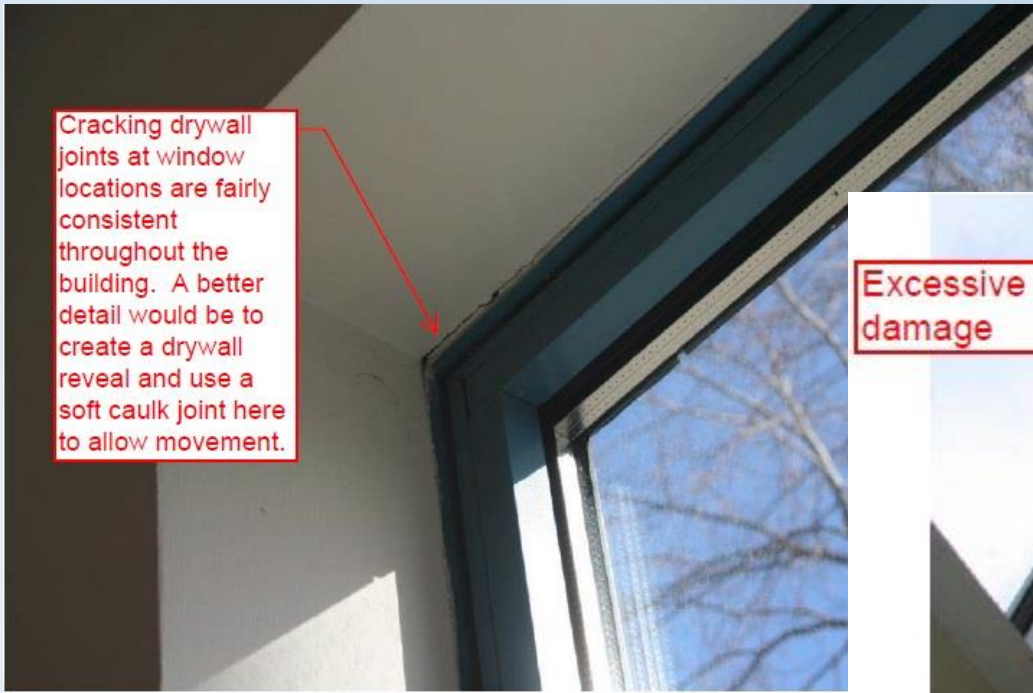
During an investigative study, Kluber Architects & Engineers reported that:

- A lack of proper insulation thickness in the wall assembly at column and beam locations was evident.
- There was no wall stud cavity (plane of wall) insulation installed at any column or beam locations creating a high opportunity for the dew point to fall inside the wall and condense into water droplets.



**INSPECTION PHOTO**

Columns have condensation issues due to improper insulation and installation. Significant rust has already formed on columns on the east and west walls.



Cracking drywall joints at window locations are fairly consistent throughout the building. A better detail would be to create a drywall reveal and use a soft caulk joint here to allow movement.

INSPECTION PHOTO

More evidence of water damage.

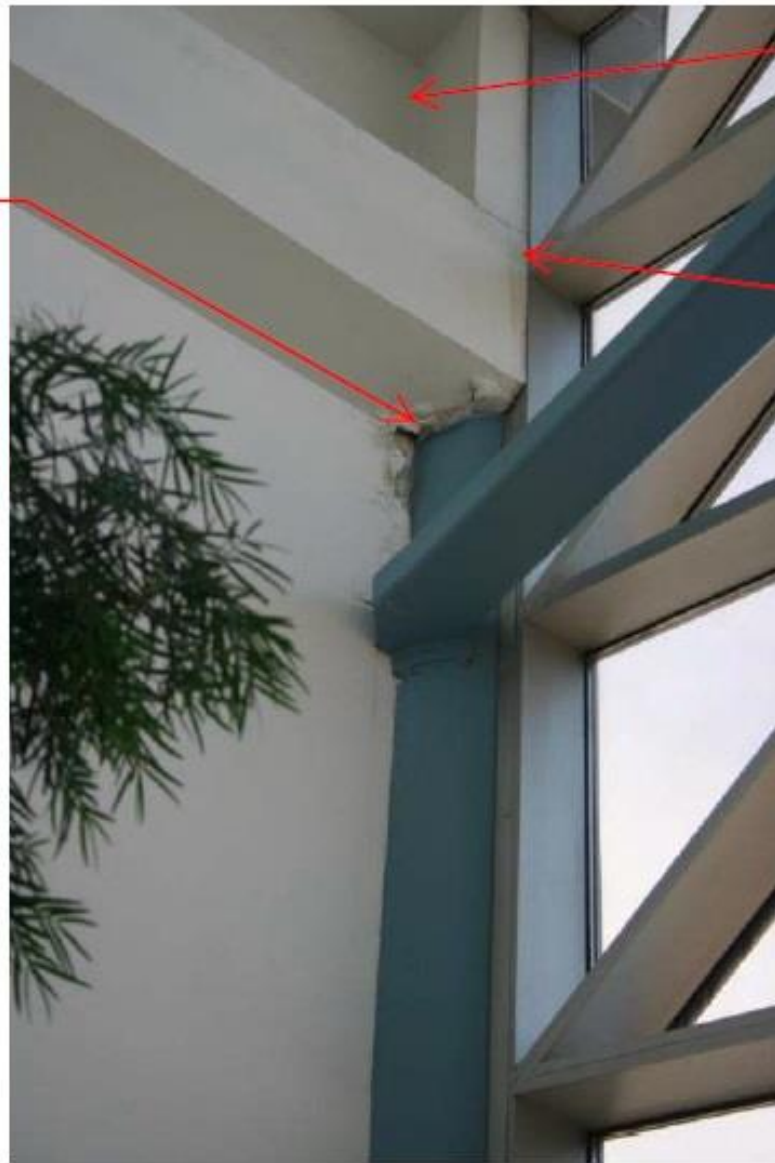


Excessive moisture damage

Excessive moisture damage.

INSPECTION PHOTO

Significant water infiltration here likely caused by the false louver above and conduction of the steel column.



Location of false exterior louver.

Note water stain "running" down wall at this location suggests the false louver may have a flashing / installation problem.

**INSPECTION PHOTO**



### INSPECTION PHOTO

Project: LaGrange Park Public Library Water Infiltration Investigative Study

Photo Number: A3203

Description: Photo shows no insulation at column location and lack of end damming at window sills. Significant rust noted at base plate location. Wood window jamb liner board is water saturated.



### INSPECTION PHOTO

# Our Findings: Structural Damage

- Project cost: \$1.5 - \$2.5 million (based on 2015 cost estimates)
- Project timeline ranging from 7-10 months
- The only option for repair is a rebuild & proper insulation process.  
There are no stop-gap measures that will suffice.

# Our Findings

## Maintenance Report

What needs to get fixed and replaced in the next 20 years?

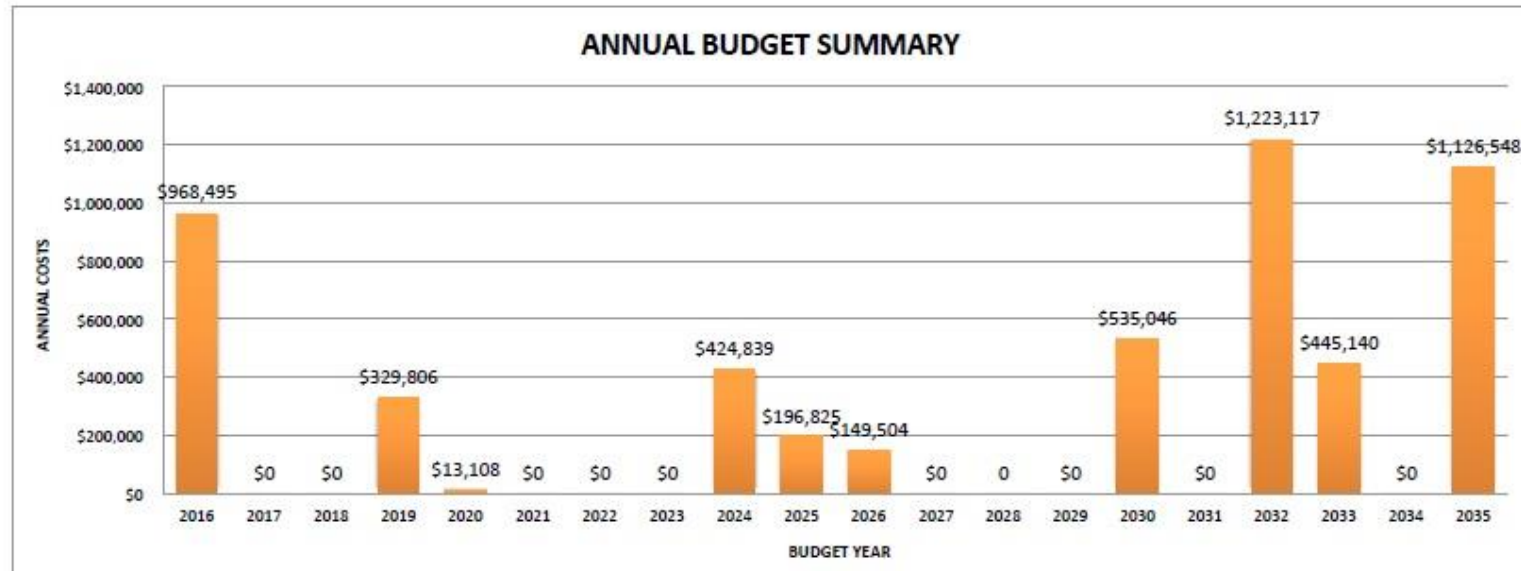
Work items do not include A/E Design Fees in the cost.

### Yearly Summary

2016	\$968,495
2017	\$0
2018	\$0
2019	\$329,806
2020	\$13,108
2021	\$0
2022	\$0
2023	\$0
2024	\$424,839
2025	\$196,825
2026	\$149,504
2027	\$0
2028	0
2029	\$0
2030	\$535,046
2031	\$0
2032	\$1,223,117
2033	\$445,140
2034	\$0
2035	\$1,126,548

### Total Escalated

\$5,412,428



# Our Findings

## Visioning & Needs Assessment

How is the library serving the current residents? What can we do to better serve our library visitors? What is different about our world in 2017 that was not present in 1989?

How do we need to adapt?



# Key Points And Conclusions

## 5 Key Points

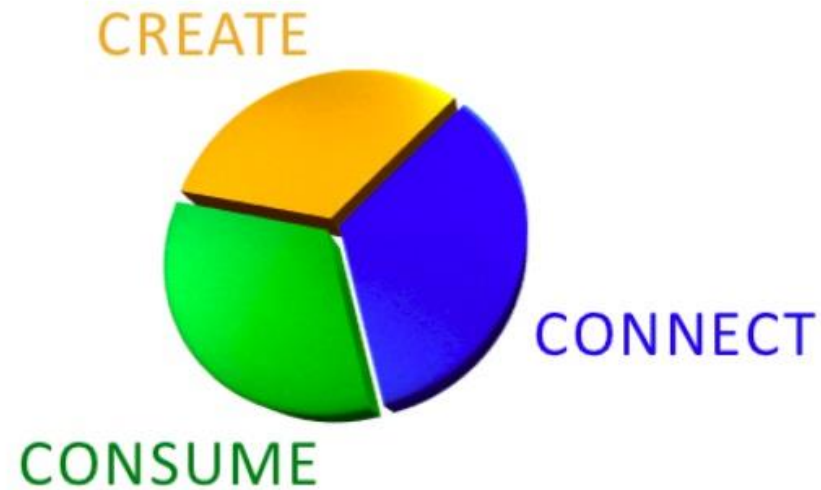
1. La Grange Park Public Library is well-used by the community and is successfully offering a full array of traditional library services.
2. Offering access to books and AV materials will remain a key part of the library's service for the foreseeable future.
3. The role of public libraries has changed significantly since LGPL was planned and built; contemporary libraries are as much about hosting events, supporting creative activities and connecting people as they are about housing a collection of materials.
4. The contemporary amenities that are most lacking in the existing library are those geared toward social interaction and creative activities
5. La Grange Public Library can evolve to provide a more 21<sup>st</sup> century experience while still providing a full range of traditional library services. This will require that trustees, administration, staff and the community accept that new approaches to library service require changing some of our preconceptions of what "library" is.



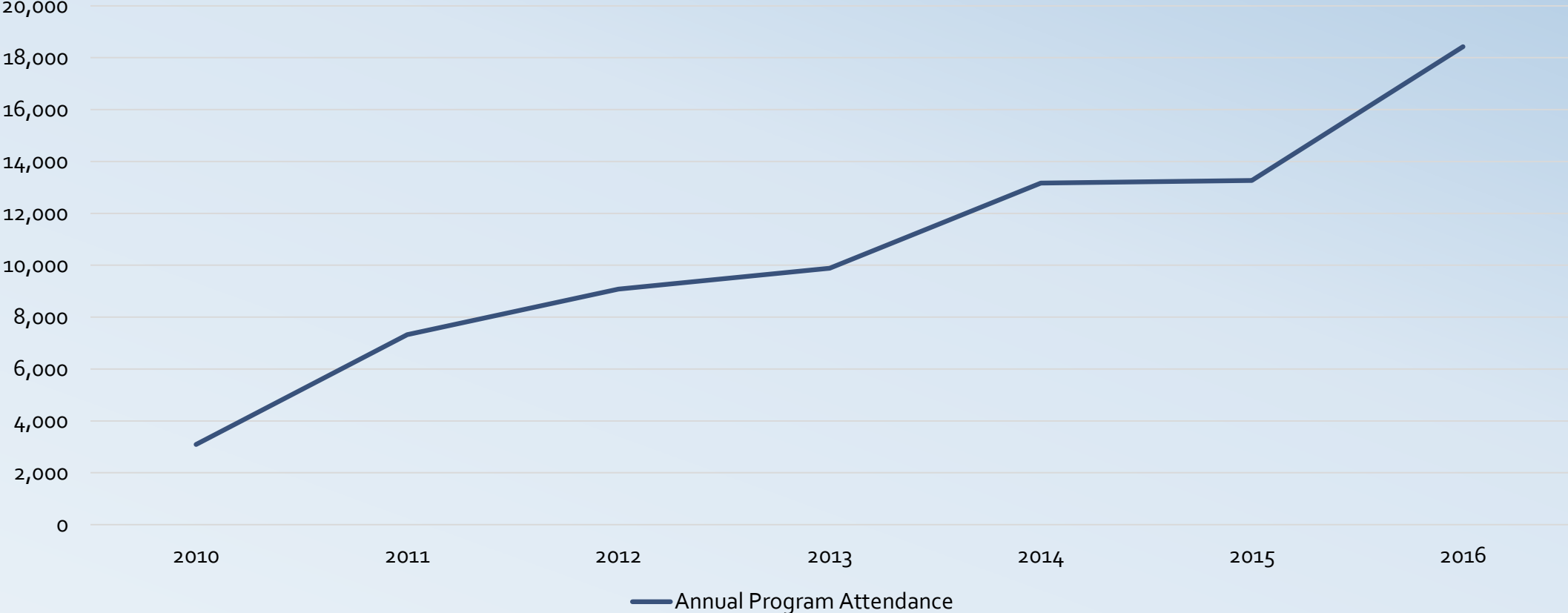
## A New Model For Public Libraries:

The Pew Research data led us to propose a new planning model for public libraries in which housing and supporting the traditional library collection is no longer the primary focus of library design but rather one of several equally important components. This approach places equal importance on what goes on within the library as with what is contained within the library.

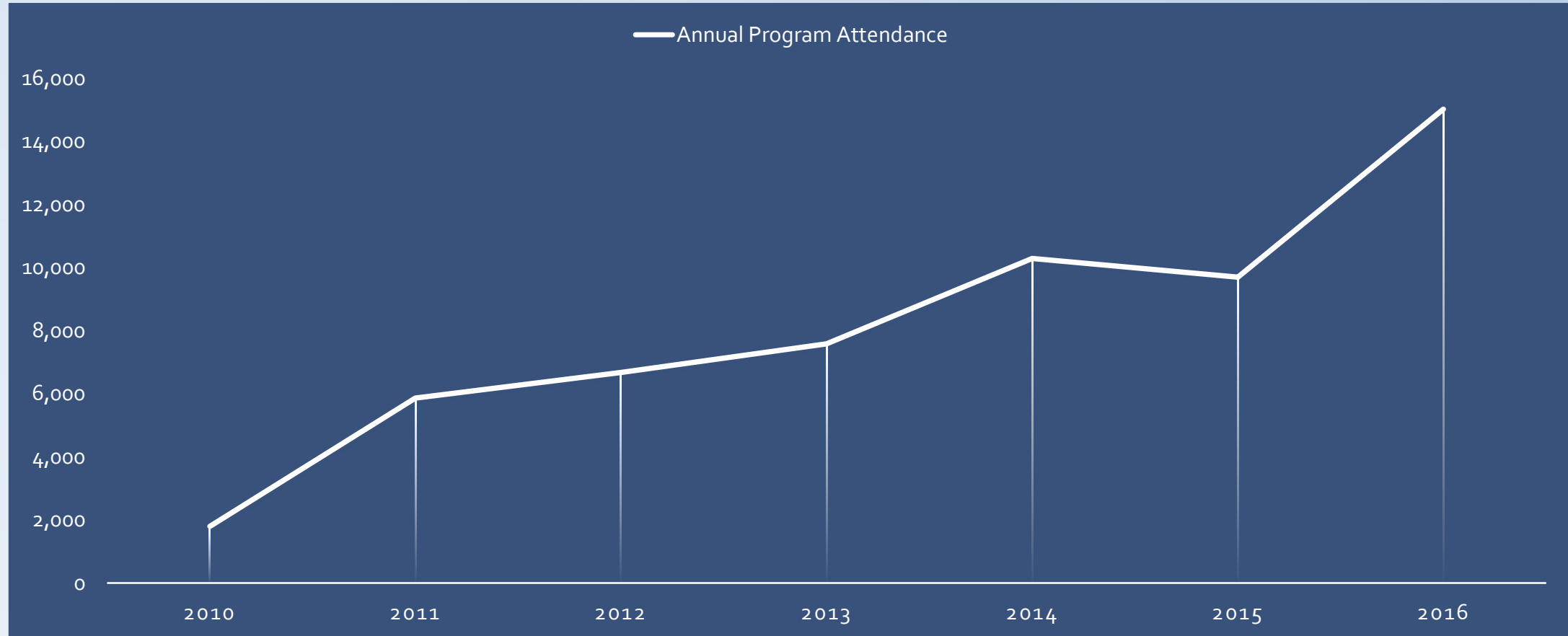
Our new library model is a vehicle for providing services that are described by 3 verbs; "Consume/Connect/Create."



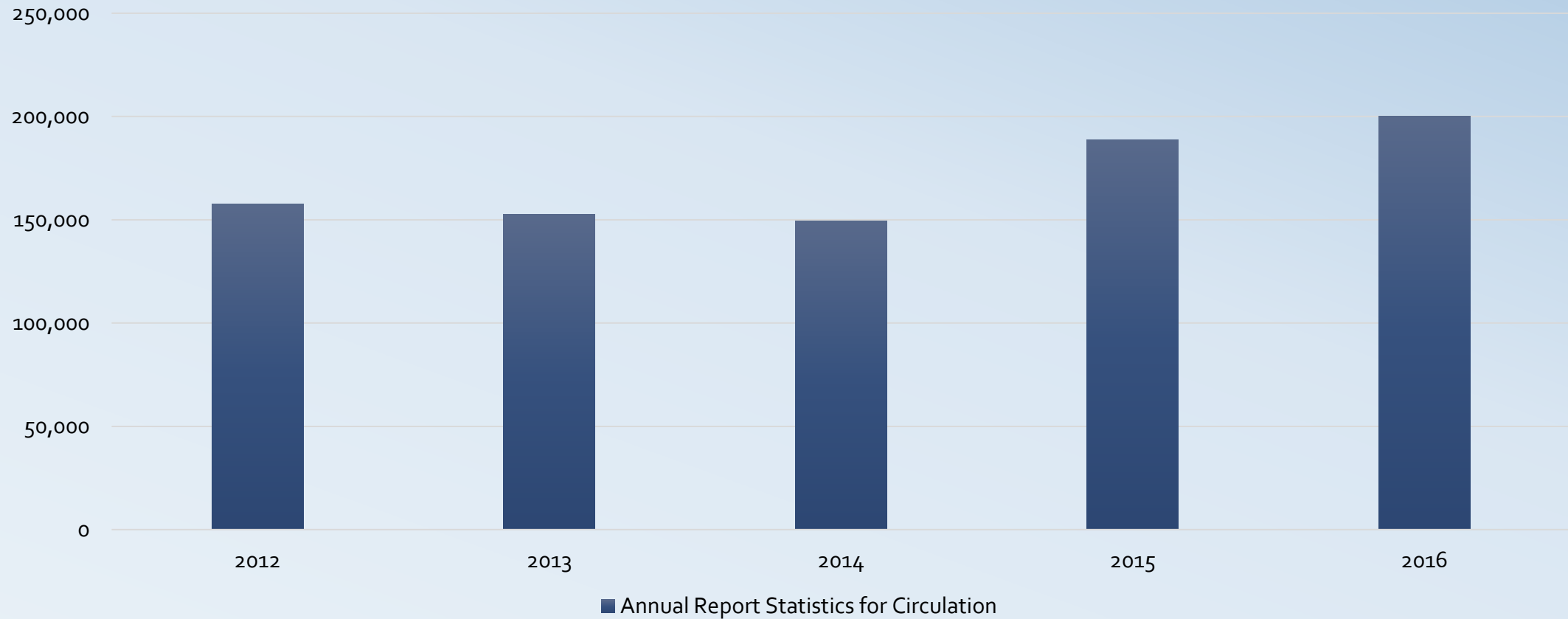
# Library Programs & Events



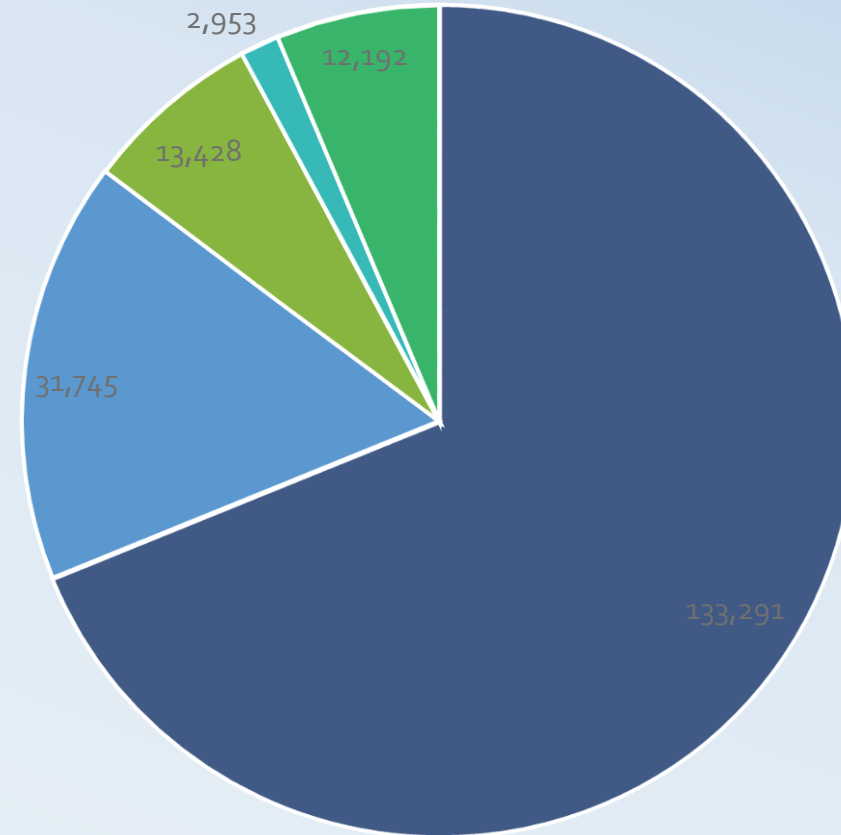
# Children's Programs & Events



# Circulation of Library Materials

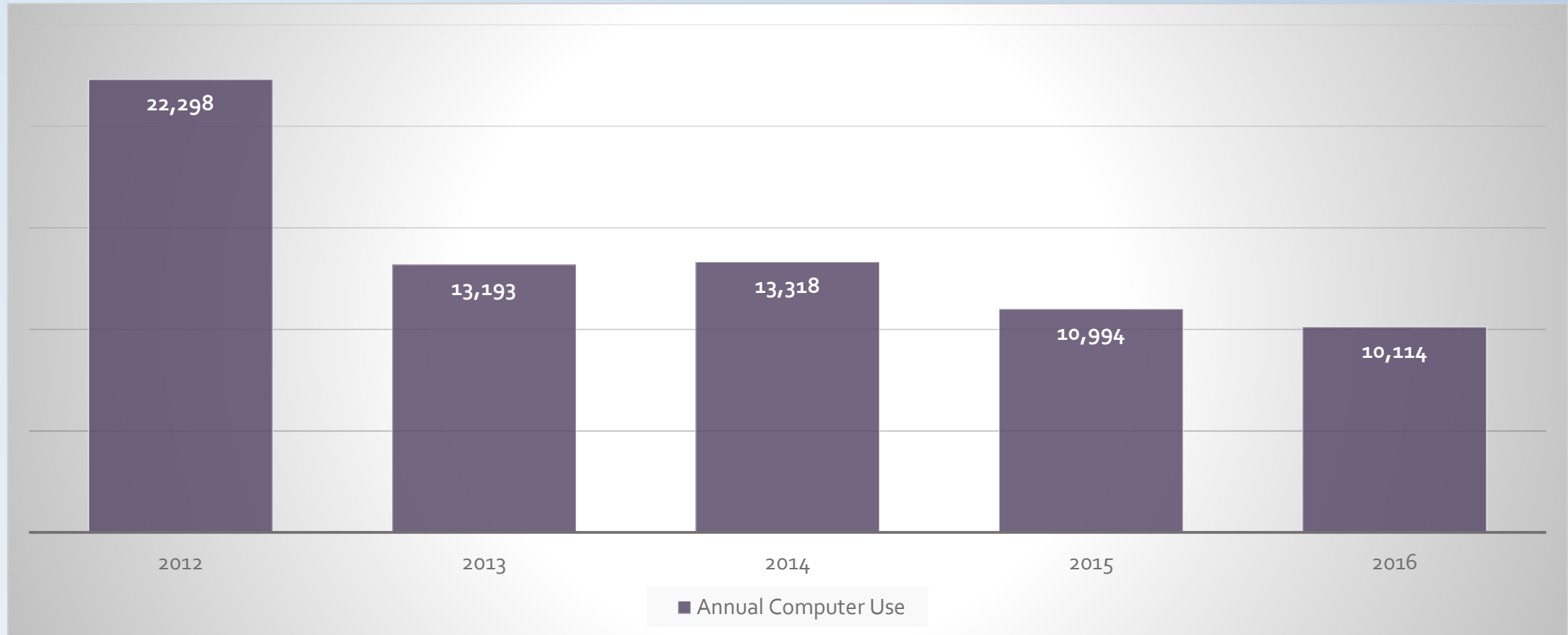


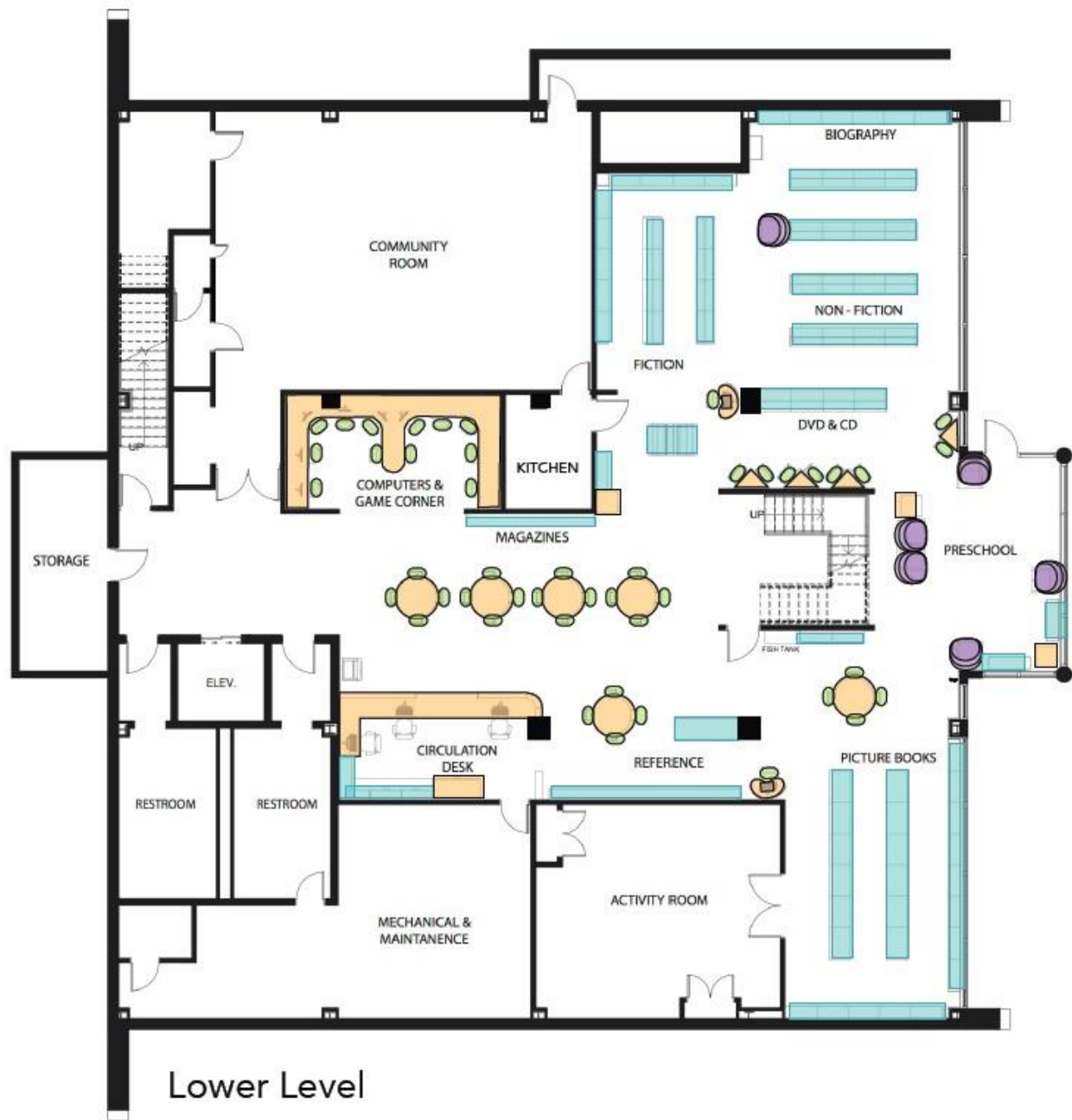
# Circulation by Type of Material



■ Print books ■ DVDs ■ Audio CDs ■ Periodicals ■ Digital

# Decline of Computer Use





Lower Level

## Children's Services

We have outgrown our space!

- Need for better social spaces
- More room for interactive play and learning
- More space for study/tutoring
- "Dead space" in community room
- No office for staff



## Updated Children's Services

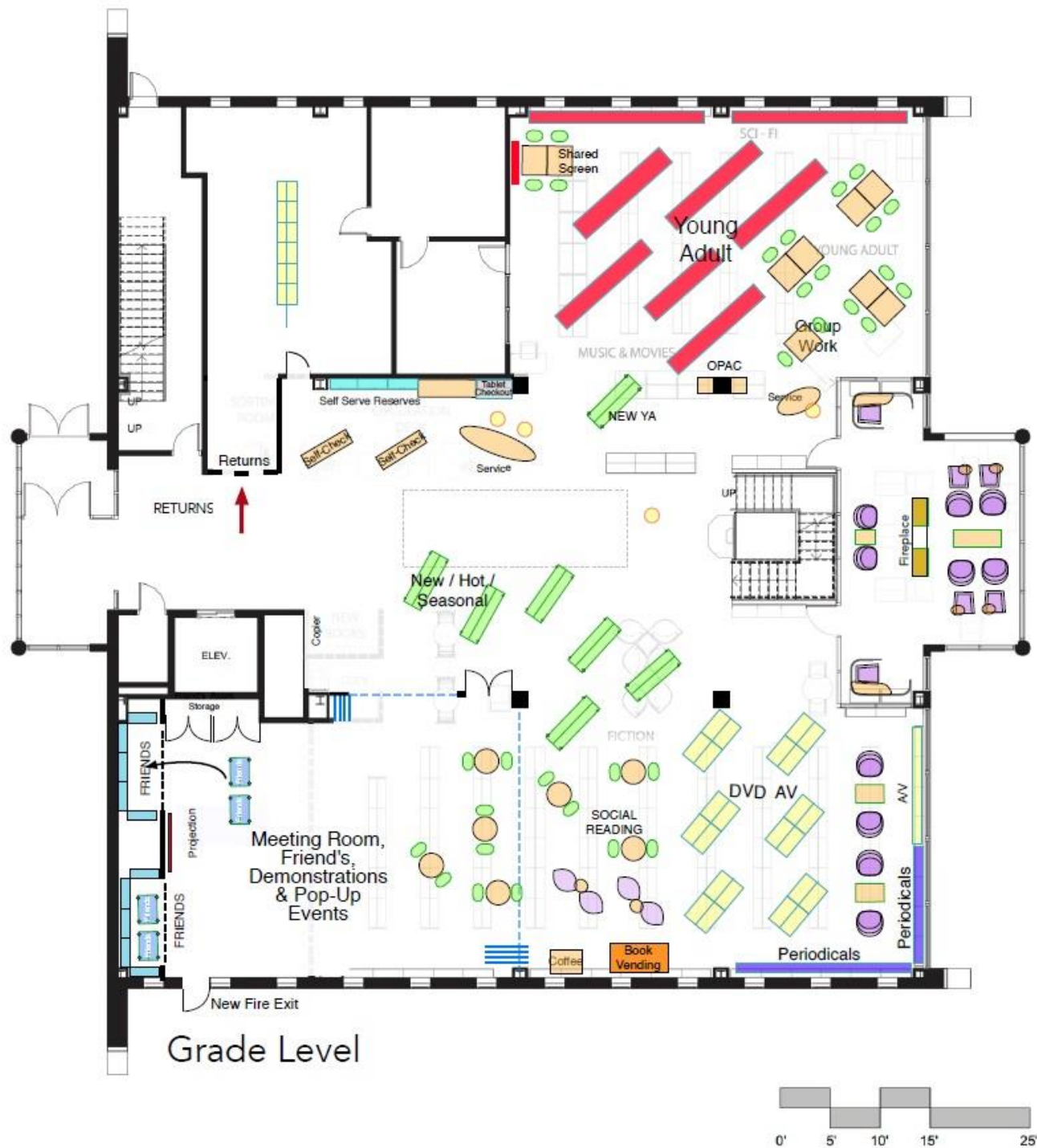
- Caregiver/Parent area & Play Date space
- More than doubling the interactive play space for little ones
- Re-thinking the activity room to include a flexible craft space, or quiet study space
- Former community room opens up space for more books!
- New office for staff





## Main Floor

- Need for study & work spaces
- Maintain quiet study space, increase sound absorption
- Increase teen space to accommodate growth
- More new & popular materials shelved in easy to browse units
- Find a spot for a community room



## Updated Main Floor

- Plenty of study & work spaces are added
- We maintain the quiet study space of the reading room and increase sound absorption through furniture placement
- The teen space has been increased with room for group work & screen sharing equip.
- New & popular materials are included throughout
- The book shop area becomes open concept to allow for a community room when needed

## Second Floor

- Poor sight lines
- Location of reference desk is not ideal
- Music room needs updating
- No.1 request – study rooms!
- Adult books all on one floor to allow for better RA



## Updated Second Floor

- Improved sight lines
- Reference desk relocated
- Music room reconfigured with technology capabilities and makery equipment
- Study rooms added!
- All adult books all on the second floor



Second Floor

# Our Findings

## Service Remodel Options

- Minor construction and plenty of updates to lighting, flooring, furniture, etc.
- Estimated total cost for all three floors is approximately \$1 million - \$1.5 million.
- Can be done in phases or all at once

# Our Future

## 2017 & Beyond: Roadmap to Our Future

- Community meetings
- Financial experts – borrowing power and financing options
- Timeline for implementation

# Ask Our Experts

- Rick McCarthy, Studio GC
- Dan Eallonardo, Independent Construction Services



# **Additional Questions & Comments**

# Contact us:

- Kate Buckson, Executive Director  
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